

MULTISTORY

Retail, Leisure and Hospitality

27,000 sq ft of retail and leisure space at the heart of a thriving city destination.
Available now

At the heart of a vibrant CBD, boosted by HS2 regeneration, and surrounded by world-class businesses and amenities, Multistory retail, leisure and hospitality is an exciting new focal point for Birmingham.





Setting a new benchmark for Birmingham

Birmingham's largest amenity space, extensively refurbished office floors, and 27,000 sq ft for retail, leisure, and hospitality across eight new units create a dynamic new destination.

92 Degrees Café

A magnetic new destination

27,000
SQ FT

of high-quality retail, leisure and hospitality space creates a new destination in a thriving business and lifestyle hub.

267,500
SQ FT

of workspace and 15,000 sq ft of amenity space is available at Multistory.

£724
Million

Investment in regeneration brings 36,000 new jobs, 4,000 new homes and 600,000 sq m of new commercial developments.

3,000+

Businesses in the city centre employ approximately 58,600 people.

49
Mins

to London. HS2 will connect Multistory to the rest of the UK from the new Curzon Street station (5 mins walk).

2.3
Million

people use Snow Hill Station annually (3 mins walk).

22.6
Million

people use New Street Station annually (8 mins walk).

1.15
Million

live in Birmingham's city centre and set to rise 3.9% by 2028.

Grand Central Shopping centre



The Ivy



Liquor Store



Tatu

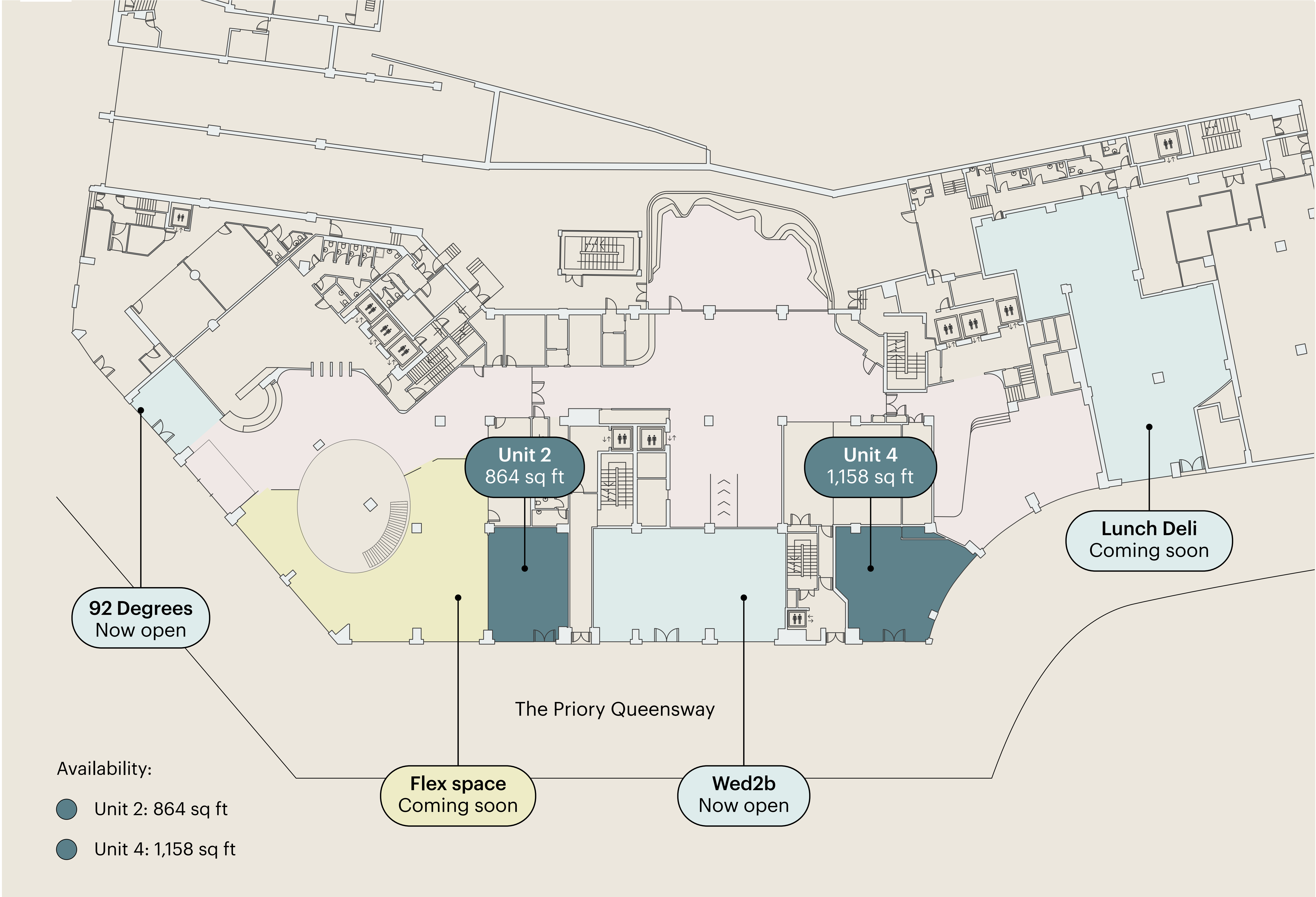


200 Degrees Coffee Shop

The city that never stands still
Always moving forward, Birmingham is an ever-evolving city humming with the buzz of regeneration and reinvention.

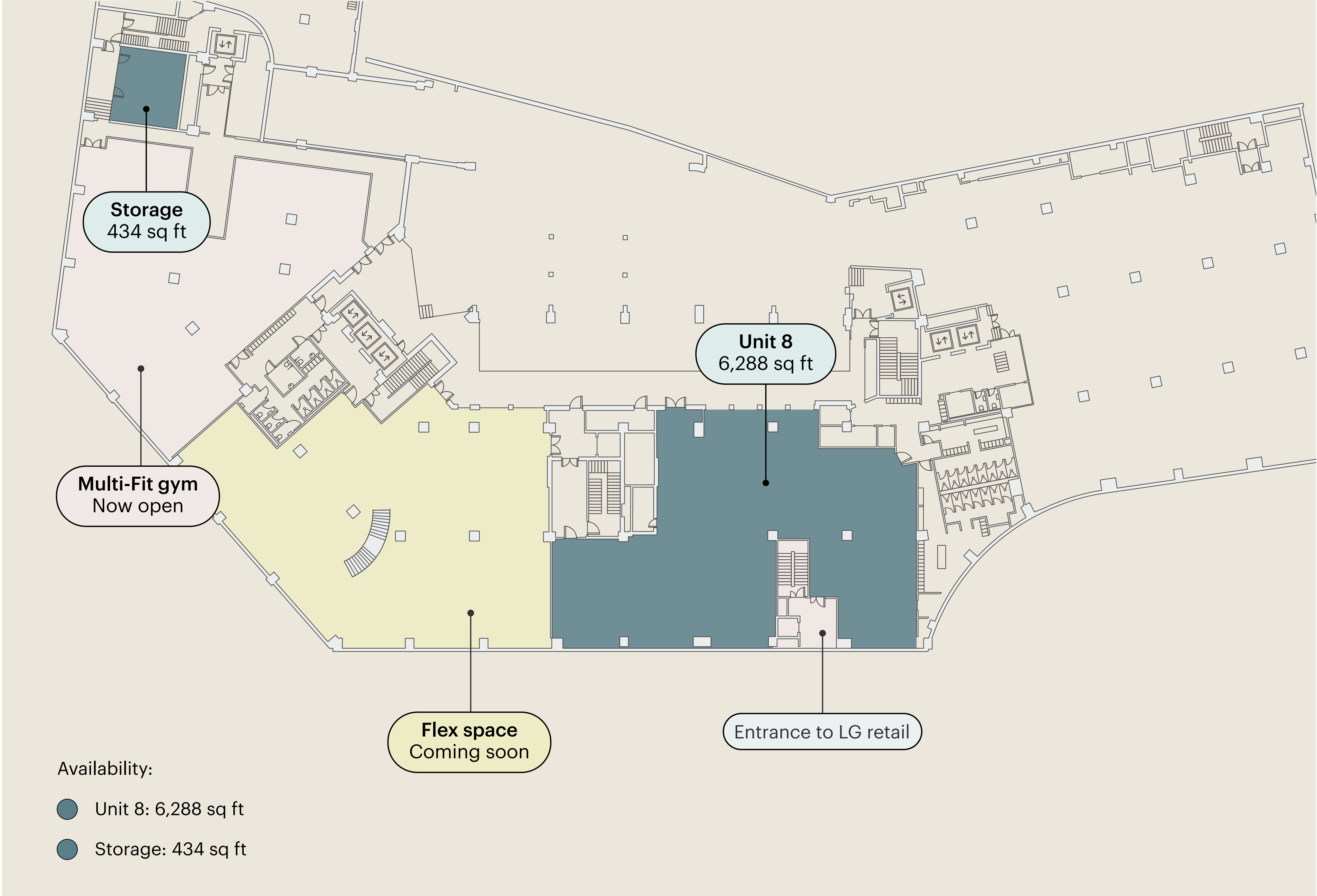
Ground Floor

The refurbished ground floor features a collection of retail, leisure and hospitality spaces with full-height windows for an impactful street presence.



Lower Ground Floor

The lower-ground level offers 18,600 sq ft of flexible space with multiple uses, including a gym, library, restaurant, bar and café.



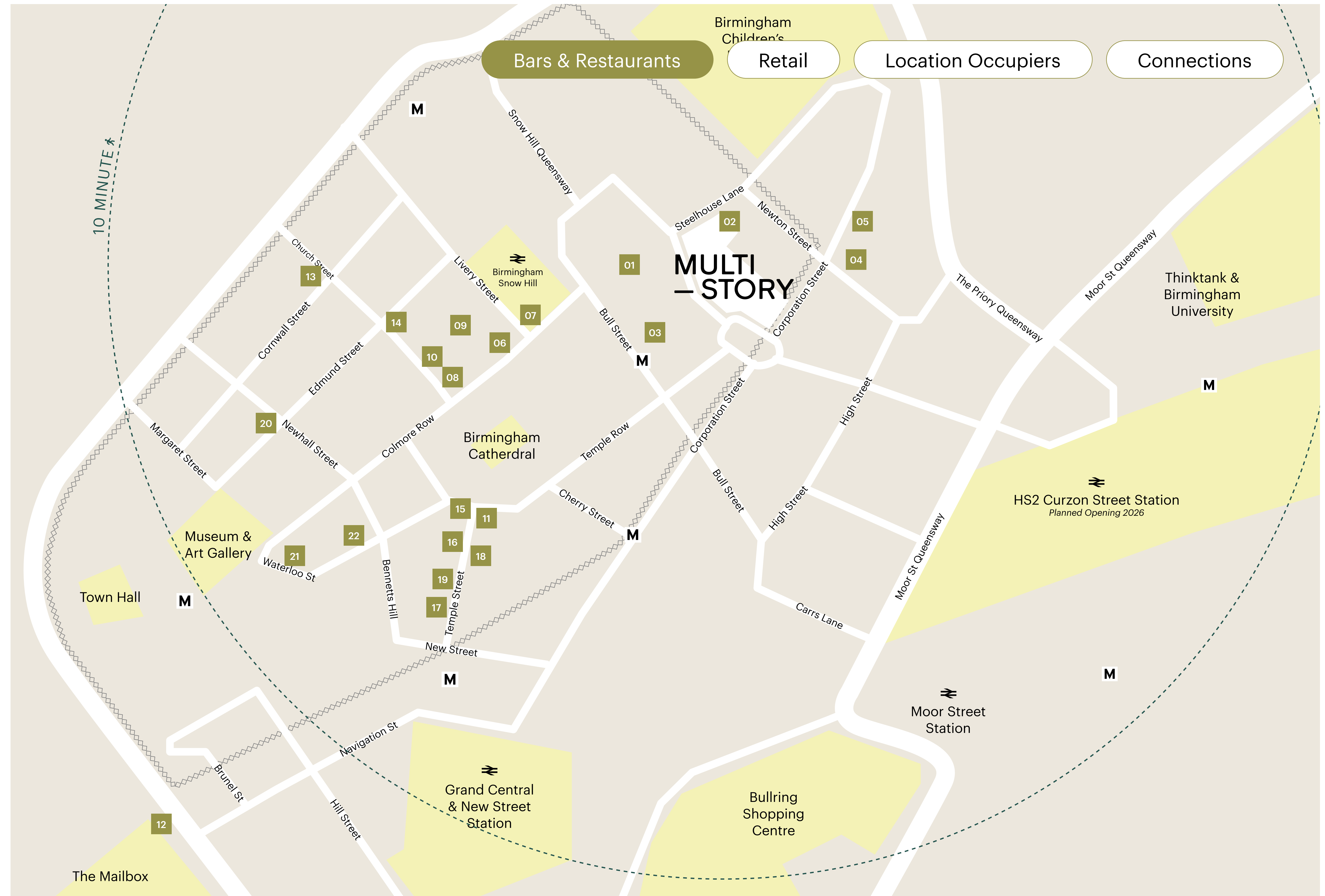


A vibrant, central hub

The expansive co-working area and coffee bar are open to all, extending onto the terrace for alfresco lunch breaks or meetings.

Local area

- | | | |
|----|-------------------------|--------|
| 01 | The Society | 1 mins |
| 02 | The Queen's Head | 1 mins |
| 03 | Waylands Yard | 1 mins |
| 04 | Perch | 2 mins |
| 04 | Boston Tea Party | 2 mins |
| 06 | Pasture | 2 mins |
| 07 | 200 Degrees Coffee Shop | 3 mins |
| 08 | The Grand Hotel | 4 mins |
| 09 | Tattu | 4 mins |
| 10 | Issacs | 4 mins |
| 11 | The Ivy | 5 mins |
| 12 | Malmaison | 5 mins |
| 13 | Purnell's Restaurant | 5 mins |
| 14 | Hotel Du Vin | 6 mins |
| 15 | Fumo | 6 mins |
| 16 | San Carlo | 6 mins |
| 17 | The Botanist | 6 mins |
| 18 | The Oyster Club | 6 mins |
| 19 | Manahatta | 6 mins |
| 20 | Asha's | 7 mins |
| 21 | Purecraft Bar & Kitchen | 8 mins |
| 22 | Adam's | 8 mins |



Bars & Restaurants

Retail

Location Occupiers

Connections

MULTI-STORY

Local area

Bars & Restaurants

Retail

Location Occupiers

Connections



- | | | |
|----|---------------------|--------|
| 01 | Crockett & Jones | 3 mins |
| 02 | Liquor Store | 3 mins |
| 03 | Clements and Church | 5 mins |
| 04 | Apple | 5 mins |
| 04 | Boots | 5 mins |
| 06 | Waterstones | 6 mins |
| 07 | Jo Malone | 8 mins |
| 08 | Kiehl's | 8 mins |
| 09 | The White Company | 8 mins |
| 10 | M&S | 8 mins |
| 11 | COS | 8 mins |
| 12 | Zara | 8 mins |
| 13 | Selfridges | 9 mins |

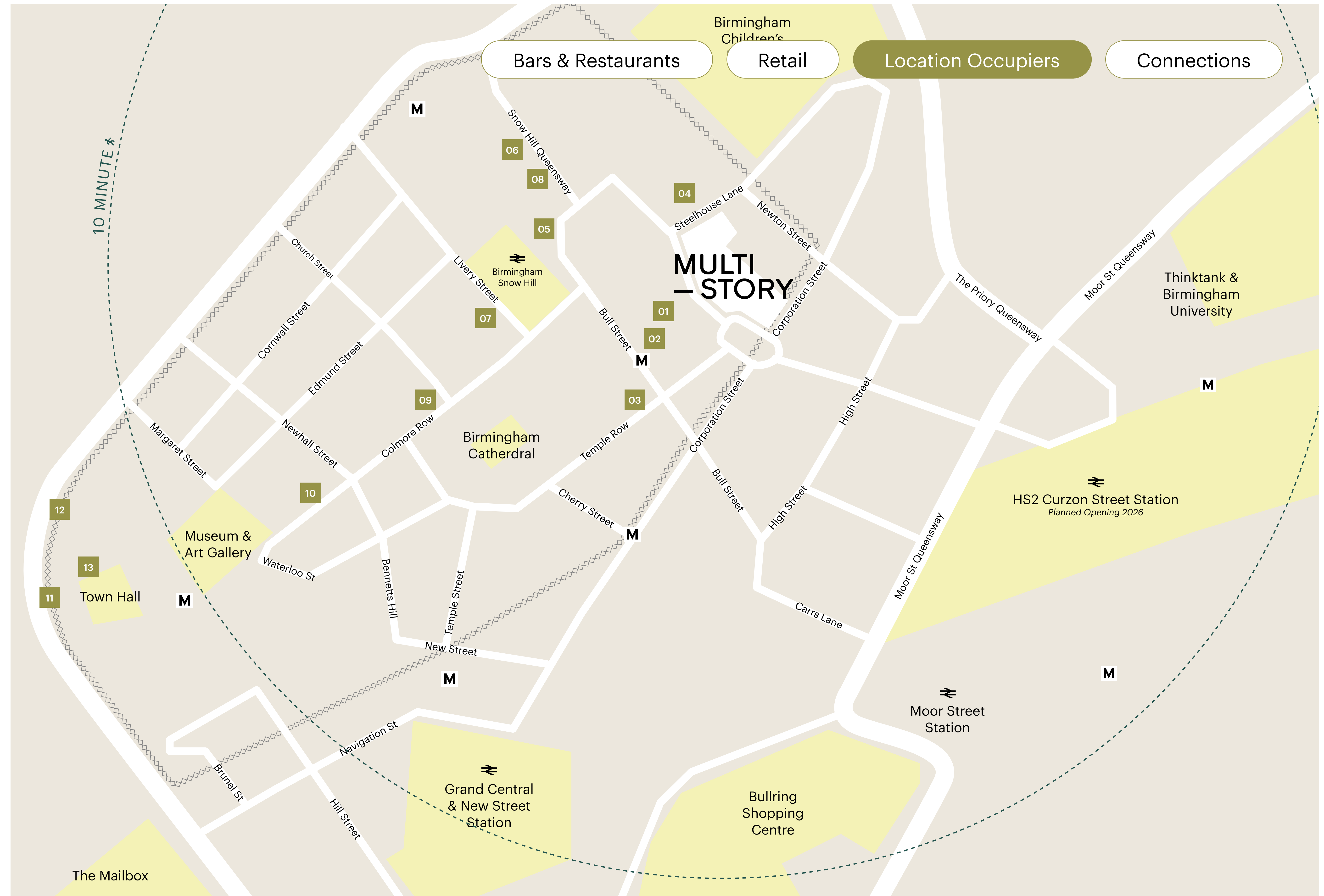
Local area

Bars & Restaurants

Retail

Location Occupiers

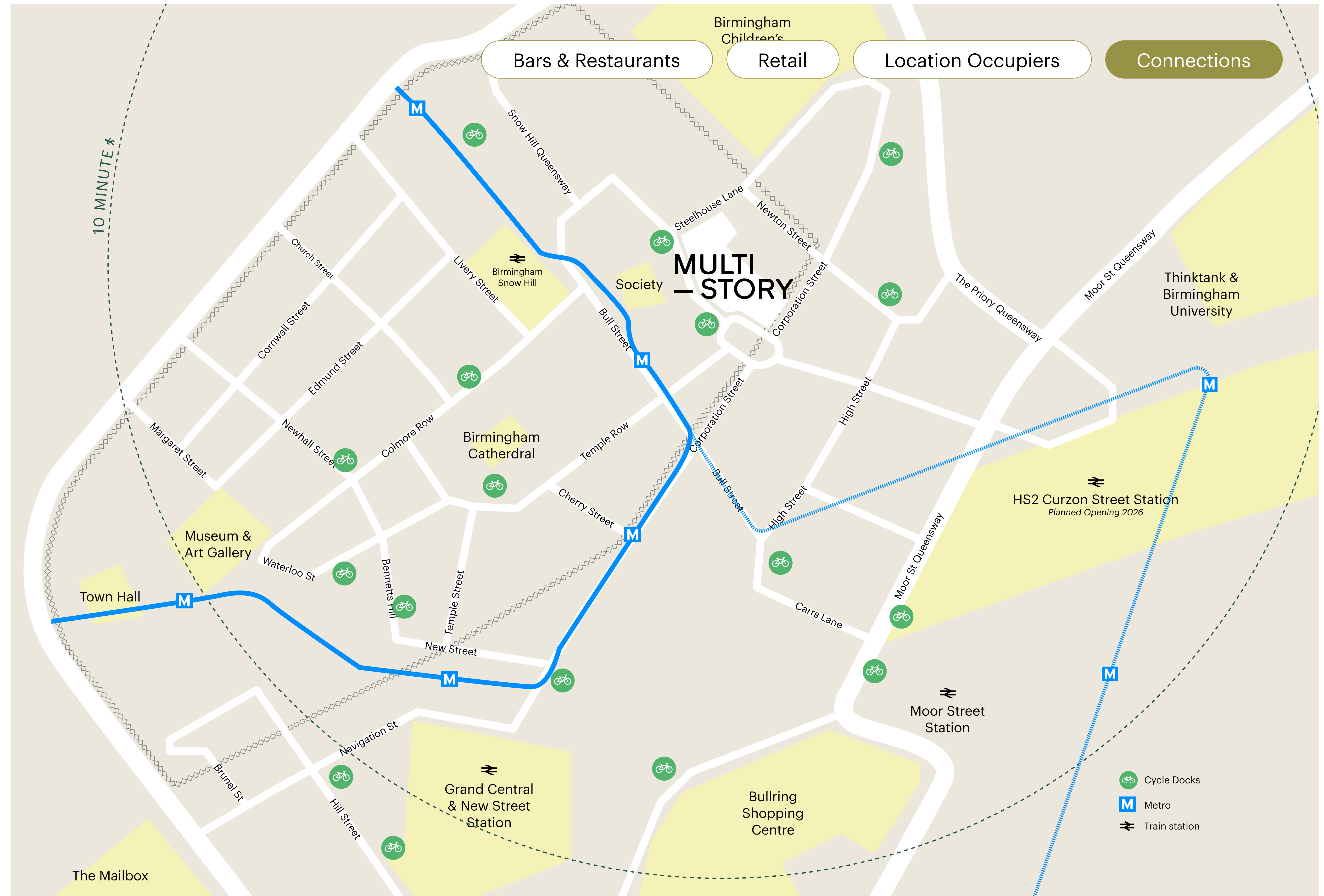
Connections



01	Shakespeare Martineau	1 mins
02	Finance for Business	1 mins
03	RBS	1 mins
04	AON, Amey, Irwin Mitchell	2 mins
04	KPMG, DWF, Barclays PLC	2 mins
06	HS2 HQ, Gowling WLG	2 mins
07	Mott MacDonald	2 mins
08	BT	5 mins
09	Pinsent Masons, WeWork, RICS	5 mins
10	Grant Thornton, Arcadis, RSM	8 mins
11	Goldman Sachs, Arup	12 mins
12	PWC	12 mins
13	DLA Piper, Atkins	11 mins

Local area

Multistory is a well-placed launchpad for journeys by foot, bike, bus, train, tram, car and air. It sits in an area committed to creating safe cycle routes and pedestrianised areas. Birmingham's most connected stations are within a few minutes' walk.



Local area

Birmingham's most connected stations are all within a few minutes' walk.

03

MINS 

Snow Hill Station

05

MINS 

HS2 Curzon Street Station

08

MINS 

New Street Station





MULTISTORY

2 The Priory Queensway, Birmingham, B4 6BS

CBRE

Andrew Jackson
+44 (0)7887 952 215
andrew.jackson@cbre.com

Chris Thomas
+44 (0)7808 774 585
chris.thomas@cbre.com

CREATIVE RETAIL

Matt Pegg
+44 (0)7826 646 488
matt@creative-retail.co.uk

Ed Purcell
+44 (0)7793 808 974
ed@creative-retail.co.uk

multistory-birmingham.com

CBRE and Creative Retail on their behalf and for the Vendors or Lessors of this property whose Agents they are, give notice that: 1. These particulars are set out as a general outline only for guidance to intending Purchasers or Lessees, and do not constitute any part of an offer or contract. 2. Details are given without any responsibility and any intending Purchasers, Lessees or Third Parties should not rely on them as statements or representations of fact, but must satisfy themselves by inspection or otherwise as to the correctness of each of them. 3. No person in the employment of CBRE or Creative Retail has any authority to make any representation or warranty whatsoever in relation to this property. 4. Unless otherwise stated, all prices and rents are quoted exclusive of VAT. (July 2025)